

Town Clerk Shelby Mundy
Town of Shelter Island
PO Box 1549
Shelter Island, NY 11964

By Hand

January 22, 2026

Dear Ms. Mundy

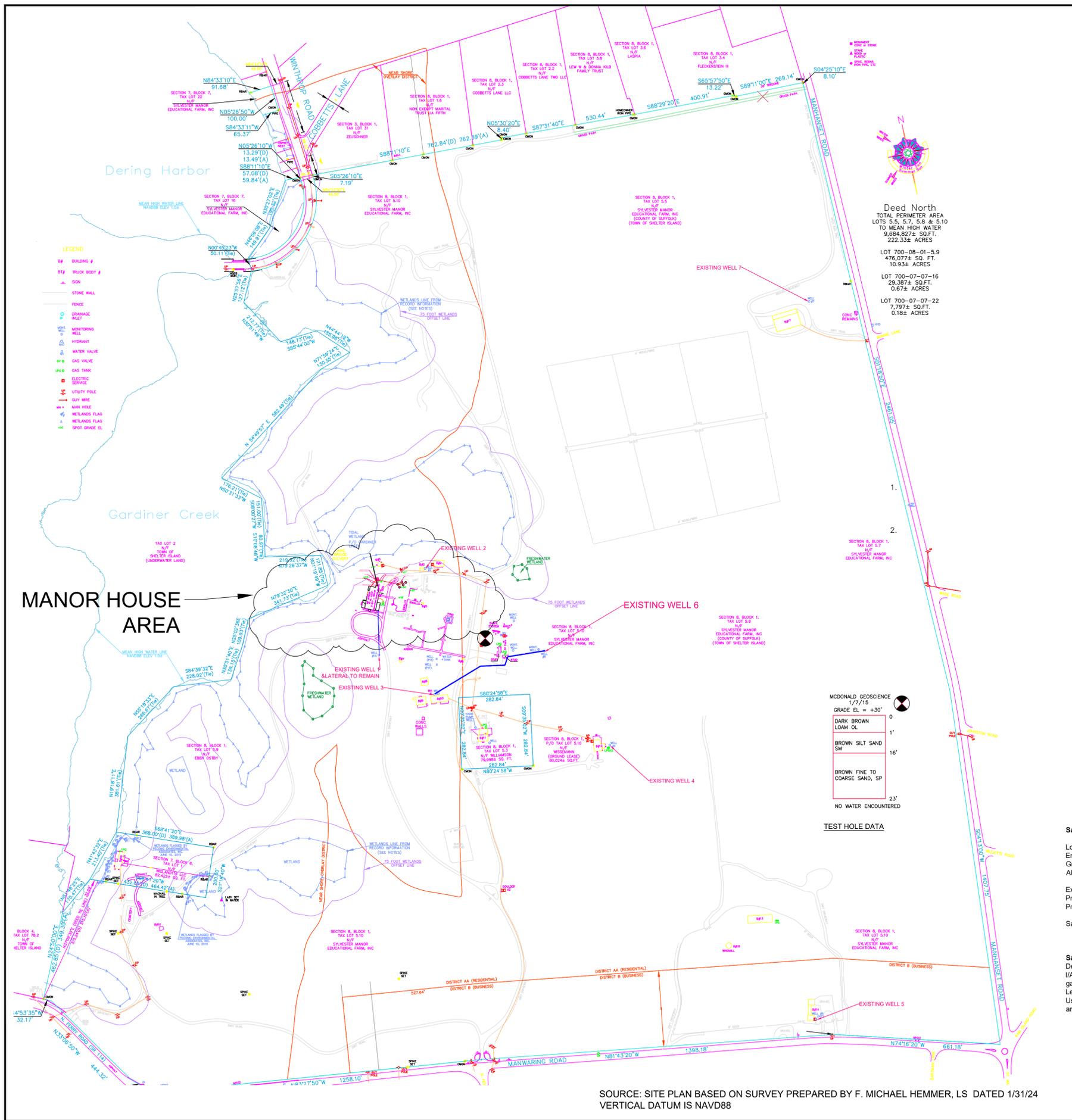
Please find enclosed an updated submission for our August 8, 2025, Site Plan Review application; specifically a stamped copy of the sanitary plan approved by Suffolk County on 11/26/25, and the county's permit conditions letter. We've included 11 copies for distribution to the Town Board and its advisory committees.

Due to change in personnel, we inadvertently supplied the Town with an earlier version of the sanitary plan. This additional submission corrects that error. Please note, this submission also satisfies a question asked at our Wednesday, January 21 meeting with Supervisor Amber Brach-Williams and Deputy Supervisor Meg Larsen about whether the approved work is outside the Town's 100-foot wetlands boundary.

We look forward to providing additional information as requested. Please contact me if you have any questions.

Thank you,

Julia Brennan
Capital Projects Manager
Sylvester Manor
PO Box 2029
Shelter Island, NY 11964
jbrennan@sylvestermanor.org

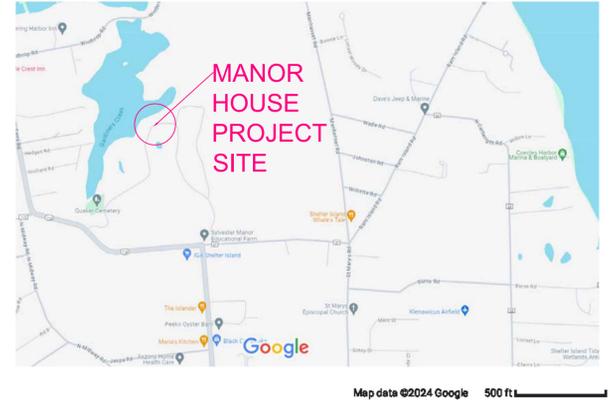


BUILDING LEGEND

B#1	MANOR HOUSE
B#2	OLD FURNACE HOUSE
B#3	OLD PUMP HOUSE
B#4	MOWER BARN
B#5	PRIVY
B#6	OLD TOOL SHED
B#7	PEACOCK HOUSE
B#8	EVENT BARN
B#9	GLOVER BARN
B#10	LONG BARN
B#11	PRIVATE RESIDENCE OWNED BY OTHERS
B#12	PRIVATE RESIDENCE OWNED BY OTHERS
B#13	GREENHOUSE
B#14	FARMSTAND
B#15	PRIVATE RESIDENCE OWNED BY OTHERS
B#16	QUAKER MEETING HALL
B#17	POLE BARN
B#18	WINDMILL
BT#1	TEMPORARY PUBLIC RESTROOMS, CREW BATHROOMS & LAUNDRY
BT#2	TEMPORARY CREW KITCHEN

WELL LEGEND

WELL#1A	DOMESTIC FOR B#1
WELL#2	IRRIGATION AT B#3
WELL#3	IRRIGATION AT B#10
WELL#4	DOMESTIC AT B#12
WELL#5	IRRIGATION AT B#14
WELL#6	DOMESTIC FOR B#11 & BT#2
WELL#7	IRRIGATION AT B#17

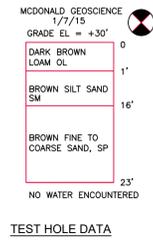


Existing Design Sanitary Flow Calculations (Based on SCDHS-WWM Approval to Construct C07-15-001)

Building	Sanitary Use	Sanitary load / unit	Sanitary load (gpd)	Kitchen load / unit	Kitchen load (gpd)	Total load (gpd)
Manor House	6 Bedroom Residence	75 gpd/unitX 6 unit =	450.0 gpd			450.0 gpd
Caretakers Cottage	Residence	300 gpd/unitX 1 unit =	300.0 gpd			300.0 gpd
Greenhouse	Green House	0.03 gpd/sf X 2590 sf =	77.7 gpd			77.7 gpd
Out Bldgs	Storage	0.04 gpd/sf X 5500 sf =	220.0 gpd			220.0 gpd
Pole Barn	Storage	0.04 gpd/sf X 3000 sf =	120.0 gpd			120.0 gpd
Farm Stand	Retail	0.03 gpd/sf X 1340 sf =	40.2 gpd			40.2 gpd
Room House	5 units with up to 12 beds	75 gpd/unitX 12 unit =	900.0 gpd			900.0 gpd
Youth Program	80 Participants	5 gpd/unitX 80 unit =	400.0 gpd			400.0 gpd
Visitors	Visitors	5 gpd/unitX 40 unit =	200.0 gpd			200.0 gpd
Kitchen	Cafeteria not open to public	0 gpd/unitX 0 unit =	0.0 gpd			0.0 gpd
Total			2707.9 gpd		0 gpd	2707.9 gpd

Proposed Design Sanitary Flow Calculations - Manor House Restoration

Building	Sanitary Use	Sanitary load / unit	Sanitary load (gpd)	Kitchen load / unit	Kitchen load (gpd)	Total load (gpd)
Manor House - Cellar	Museum	0.03 gpd/unitX 3746 unit =	112.4 gpd			112.4 gpd
Manor House - 1st Fl.	Museum	0.03 gpd/unitX 3746 unit =	112.4 gpd			112.4 gpd
Manor House - 2nd Fl.	Museum	0.03 gpd/unitX 3180 unit =	95.4 gpd			95.4 gpd
Manor House - 2nd Fl.	Museum - Guest Rooms - up to 4 beds	75 gpd/unitX 4 unit =	300.0 gpd			300.0 gpd
Caretakers Cottage	Residence	300 gpd/unitX 1 unit =	300.0 gpd			300.0 gpd
Greenhouse	Green House	0.03 gpd/sf X 2590 sf =	77.7 gpd			77.7 gpd
Out Bldgs	Storage	0.04 gpd/sf X 5500 sf =	220.0 gpd			220.0 gpd
Pole Barn	Storage	0.04 gpd/sf X 3000 sf =	120.0 gpd			120.0 gpd
Farm Stand	Retail	0.03 gpd/sf X 1340 sf =	40.2 gpd			40.2 gpd
Room House	5 units with up to 12 beds	75 gpd/unitX 12 unit =	900.0 gpd			900.0 gpd
Youth Program	80 Participants	5 gpd/unitX 80 unit =	400.0 gpd			400.0 gpd
Visitors	Visitors	5 gpd/unitX 40 unit =	200.0 gpd			200.0 gpd
Kitchen	Cafeteria not open to public	0 gpd/unitX 0 unit =	0.0 gpd			0.0 gpd
Total			2878.1 gpd		0 gpd	2878.1 gpd



Sanitary Design

Lot Area (5.10): 124 Upland Acres
 Entire property less wetlands = 216.5 acres
 Groundwater Management Zone 4, No public water = 300 gpd/acre
 Allowable Sanitary Flow: 124 x 300 gpd/acre = 37,200 gpd

Existing Use: Educational Farm & Museum
 Proposed Use: Educational Farm & Museum
 Proposed Restoration of Manor House with Septic Upgrade

Sanitary Design Flow for proposed Manor House Outfall = 620.2 gpd

Sanitary System design:
 Design flow = 620.2 gpd
 I/A OWTS: Min. 620.2 gal. capacity; Use HYDRO ACTION AN800 (800 gal. capacity)
 Leaching Pools: 620.1 / 1.5 = 413.4 sq. ft. sidewall area required
 Use existing (6) 8' dia x 4' effective depth leaching pools (20 VF x 25.1 sidewall area/VF = 502 SF provided)

Suffolk County Department of Health Services
 Approval for Construction - Other Than Single Family
 Reference No. C-24-0074 Design Flow 620 GPD
 Use(s) Museum and Rooming House
 These plans have been reviewed for general conformance with Suffolk County Department of Health Services standards, relating to water supply and sewage disposal. Regardless of any omissions, inconsistencies or lack of detail, construction is required to be in accordance with the attached permit conditions and applicable standards, unless specifically waived by the Department. This approval expires 3 years from the approval date, unless extended or renewed.

11/26/25
 Approval Date *[Signature]*
 Reviewer

ENGINEER'S CERTIFICATION REQUIRED
 SUBMIT P.E. OR R.A. CERTIFICATION
 FOR INSTALLATION AND CONSTRUCTION
 OF SEWAGE DISPOSAL SYSTEM
 FOR FINAL APPROVAL. Use Form WWM-073.



SOURCE: SITE PLAN BASED ON SURVEY PREPARED BY F. MICHAEL HEMMER, LS DATED 1/31/24
 VERTICAL DATUM IS NAVD88

Space reserved for SCDHS approval

D.B. Bennett, P.E., P.C. | Consulting Engineer
 74 Montauk Hwy., Unit# 21, P.O. Box 1442
 East Hampton, NY 11937
 631-907-0023

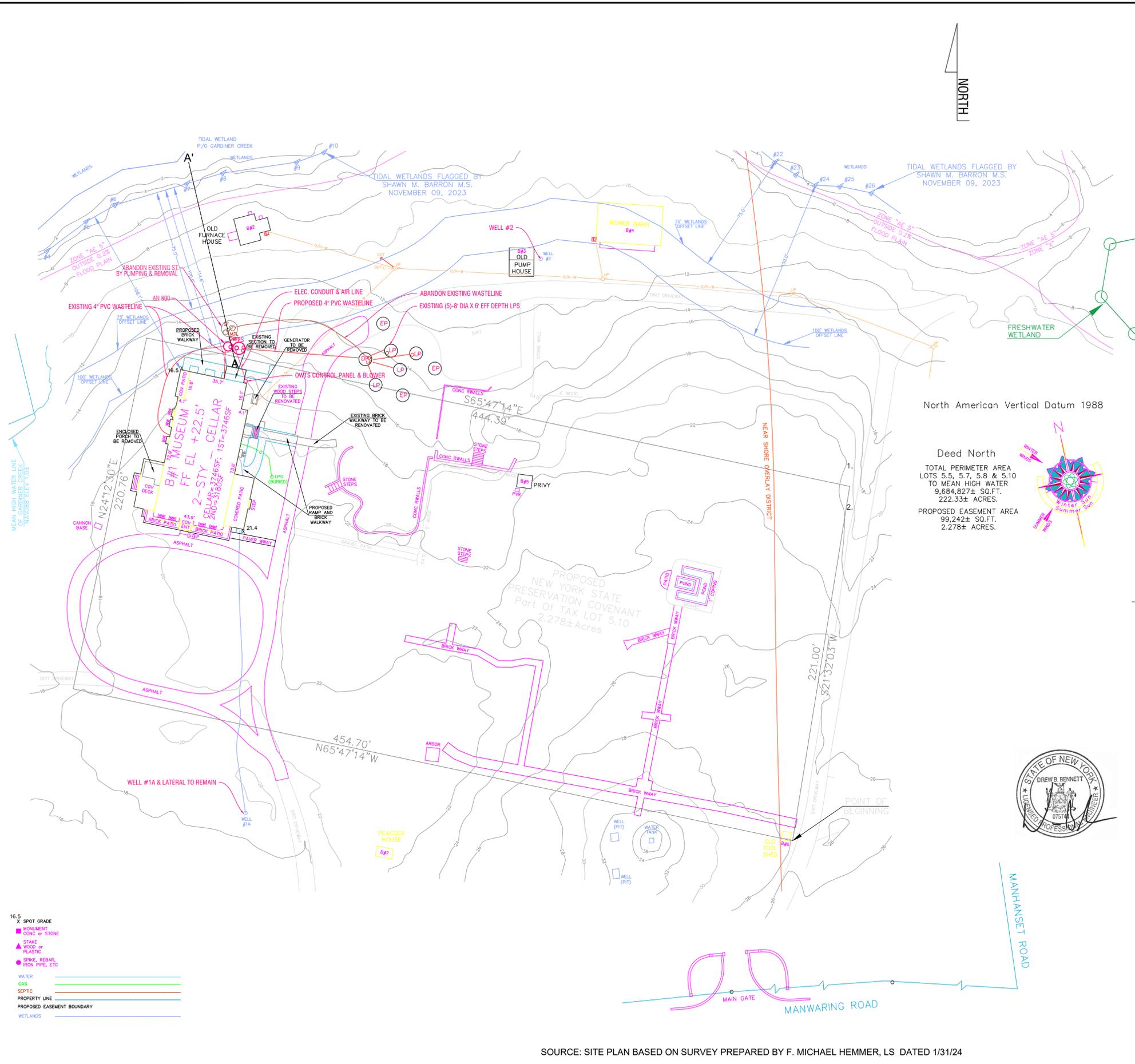
SYLVESTER MANOR EDUCATIONAL FARM
 80 NORTH FERRY ROAD
 SHELTER ISLAND, NY 11964
 SCTM# 00-08-1-5.5, 5.8, 5.9 & 5.10

DRAWING
SANITARY PLAN
 Manor House Change In Use & Restoration

ISSUE
 DATE: 11/26/25
 NO. 0
 REV. 0
 REV. 0
 REV. 0
 REV. 0

SCALE
 1" = 200'

SHEET
C1

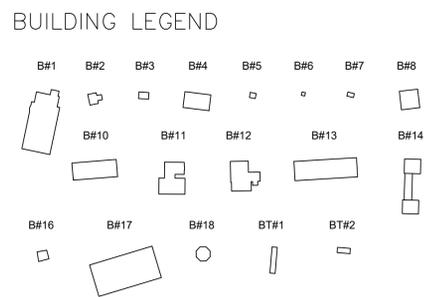


North American Vertical Datum 1988

Deed North
 TOTAL PERIMETER AREA
 LOTS 5.5, 5.7, 5.8 & 5.10
 TO MEAN HIGH WATER
 9,684.827± SQ.FT.
 222.33± ACRES.
 PROPOSED EASEMENT AREA
 99,242± SQ.FT.
 2.278± ACRES.

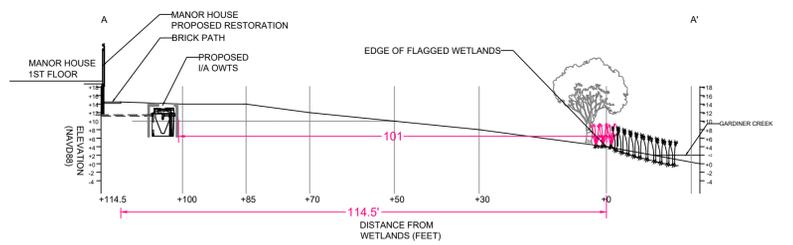


REF#	NAME
B#1	MANOR HOUSE
B#2	OLD FURNACE HOUSE
B#3	OLD PUMP HOUSE
B#4	MOWER BARN
B#5	PRIVY
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B#17	POLE BARN
B#18	WINDMILL
BT#1	TEMPORARY PUBLIC RESTROOMS, CREW BATHROOMS & LAUNDRY
BT#2	TEMPORARY CREW KITCHEN



WELL LEGEND	DESCRIPTION
WELL#1A	DOMESTIC FOR B#1
WELL#2	IRRIGATION AT B#3
WELL#3	IRRIGATION AT B#10
WELL#4	DOMESTIC AT B#2
WELL#5	IRRIGATION AT B#14
WELL#6	DOMESTIC FOR BT#1 & BT#2
WELL#7	IRRIGATION AT B#17

- NOTES:
- ELEVATION DATUM IS NAVD 88;
 - EXISTING SEPTIC TANK TO BE REMOVED PER SCDHS STDS.
 - DESIGN ENGINEER SHALL OBSERVE THE OWTS PRIOR TO BACKFILL AND DURING SYSTEM STARTUP.
 - OWTS SHALL BE TESTED FOR WATER TIGHTNESS PRIOR TO ARRIVING ONSITE USING METHOD APPROVED BY MFG.
 - THE OWTS INSTALLER SHALL HOLD AN I/A OWTS ENDORSEMENT FROM SCDHS AND SHALL BE AN AUTHORIZED INSTALLER.
 - INSTALLER SHALL REGISTER THE OWTS WITH SCDHS. THE ENGINEER SHALL PROVIDE RECORD DOCUMENTS REQUIRED BY SCDHS.
 - AN EXECUTED O&M CONTRACT BETWEEN THE MAINTENANCE PROVIDER AND THE PROPERTY OWNER SHALL BE PROVIDED TO SCDHS. THE SERVICE CONTRACT SHALL BE A MIN. 3 YEARS.
 - FURNISH & INSTALL H2O KIT FOR OWTS IN LAWN
 - CONTRACTOR SHALL MARKOUT U/G UTILITIES AND VERIFY INVERT ELEVATIONS PRIOR TO CONSTRUCTION. REPORT ANY PLAN DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
 - NO DRAINAGE STRUCTURES.
 - DESIGN INTENT IS TO LOCATE OWTS & LEACHING POOLS A MIN. OF 100 FEET FROM WETLANDS.



EXISTING GRADE SECTION FROM HOUSE THROUGH I/A OWTS TO GARDINER CREEK/WETLAND
 SCALE: 1" = 20'



16.5	X SPOT GRADE
■	MONUMENT CONC OR STONE
▲	STAKE WOOD OR PLASTIC
●	SPIC, REBAR, IRON PIPE, ETC.
—	WATER
—	GAS
—	SEPTIC
—	PROPERTY LINE
—	PROPOSED EASEMENT BOUNDARY
—	WETLANDS

SOURCE: SITE PLAN BASED ON SURVEY PREPARED BY F. MICHAEL HEMMER, LS DATED 1/31/24

Space reserved for SCDHS approval

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 74 Montauk Hwy., Unit# 21, P.O. Box 1442
 East Hampton, NY 11937
 631-907-0023

SYLVESTER MANOR
 EDUCATIONAL FARM
 80 NORTH FERRY ROAD
 SHELTER ISLAND, NY 11964
 SCTIM# 0008-1-5.5, 5.8, 5.9 & 5.10

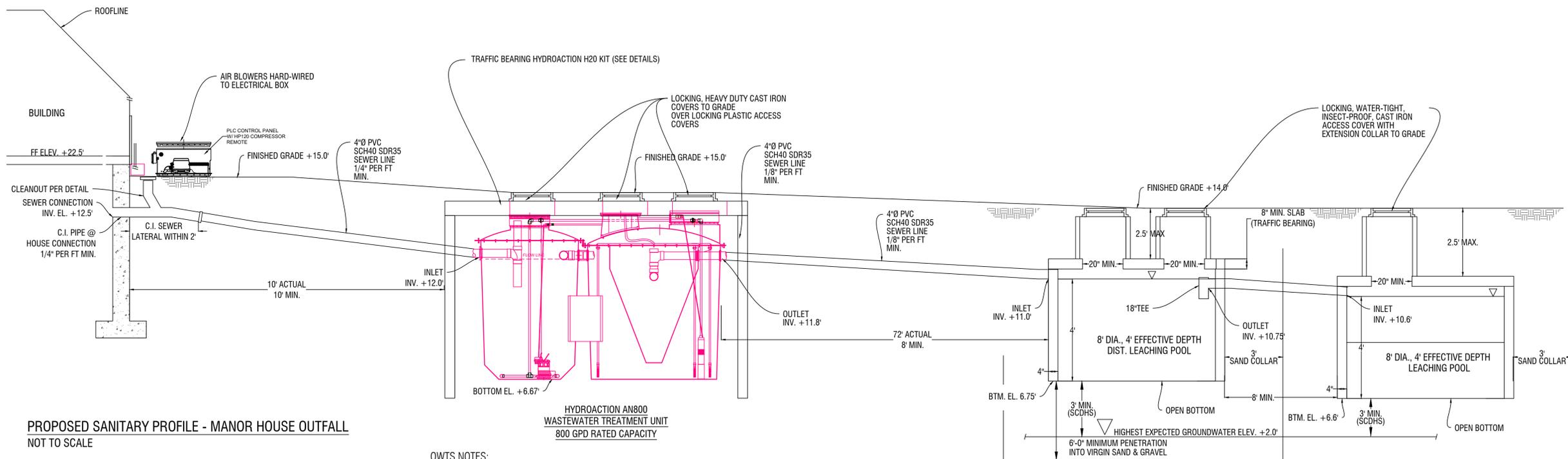
DRAWING
 PARTIAL PLAN
 Manor House Change In Use & Restoration

ISSUE	NO.	DATE
REV. 1	0	07/21/24
REV. 2	1	08/08/24
REV. 3	2	08/08/24
REV. 4	3	07/12/24

SUFFOLK COUNTY DEPARTMENT OF HEALTH SERVICES
APPROVED
 REFERENCE NO. C-24-0074
 SEE SHEET 1 OF 3 FOR SPECIAL CONDITIONS
 REVIEWER'S INITIALS BE

SCALE
 1" = 30'

SHEET
C2

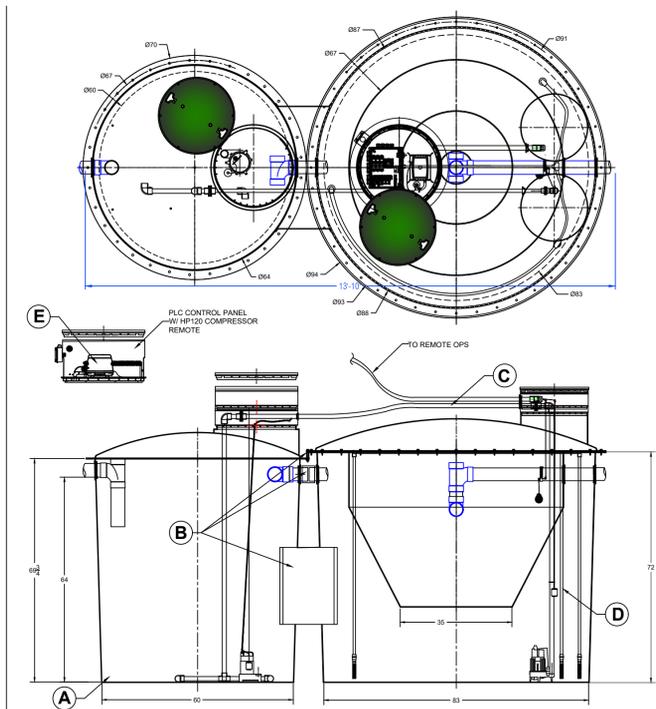


PROPOSED SANITARY PROFILE - MANOR HOUSE OUTFALL
NOT TO SCALE

OWTS NOTES:

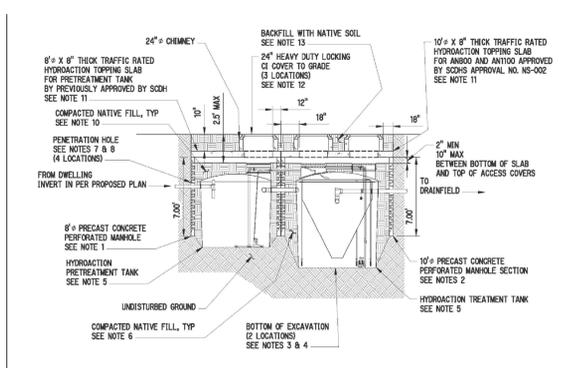
1. OWTS TO VENT VIA WASTELINE AND THROUGH HOUSE PLUMBING, NO SEPARATE VENT LINE REQUIRED.
2. BLOWER SHALL BE ABOVEGROUND AND HOUSED IN PUMP PROTECTOR VENTED AIR PUMP HOUSING
3. THE CONTRACTOR SHALL CONFIRM INVERT ELEVATION OF SEWER AT POINT OF HOUSE CONNECTION PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES IN INVERT ELEVATIONS.

(1)8" DIA., 4' EFFECTIVE DEPTH DIST. LEACHING POOLS (EXISTING)
(4)8" DIA., 4' EFFECTIVE DEPTH LEACHING POOLS (EXISTING)



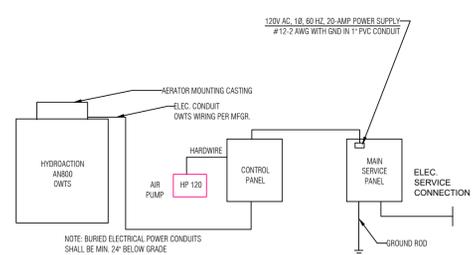
ITEM	P/N	DESCRIPTION	QTY:
	HA-AN800-R	TANK, AN800 245 NITROGEN REDUCTION REMOTE	1
A		TANK, AN800 245 PRETREATMENT	1
B	130002	SNG STANDARD 2 TANK CONNECTING KIT	1
C		ASSEMBLY, RE-CIRCULATION 245 COMPLETE AN800	1
D	AN800-P	AN800 W/ PLATFORM COMPLETE	1
E	EC50-30-L150-PLC	EC50-30-L-150-PLC	1

HYDRO ACTION AN800



AN800 H2O KIT AND INSTALL INSTRUCTIONS

- INSTALLATION INSTRUCTIONS:
1. EXCAVATE SO THAT TOP OF THE 4-FOOT HIGH PERFORATED PRECAST CONCRETE MANHOLE BASES ARE 4.5" BELOW FINISHED GRADE. THE PERFORATED PRECAST CONCRETE MANHOLE SECTIONS SHALL BE AS PREVIOUSLY APPROVED BY SCDHS, SCOP' ON NYSDOT FOR TRAFFIC BEARING STANDARDS.
 2. INSTALL 4-FOOT HIGH PERFORATED PRECAST CONCRETE MANHOLE BASES.
 3. EXCAVATE 5.5" BELOW PROPOSED INVERT IN ELEVATION FOR BOTTOM OF PRETREATMENT TANK AND EXCAVATE EAST BELOW PROPOSED INVERT IN ELEVATION FOR BOTTOM OF TREATMENT TANK.
 4. FINISH GRADE NATIVE SOIL BELOW THE PROPOSED TANKS TO BE LEVEL, 1.5/4-INCH.
 5. INSTALL PRETREATMENT AND TREATMENT TANKS ORIENTING THE PREDRILLED HOLES IN THE CORRECT ORIENTATION AS SHOWN IN THE PLAN.
 6. PLACE AND COMPACT NATIVE BACKFILL BETWEEN PRECAST CONCRETE MANHOLE BASE AND TANKS. BACKFILL SHALL BE PLACED IN 8-INCH MAXIMUM LIFTS AND MECHANICALLY COMPACTED. GRADE THE PLACEMENT OF THE FULL 3-INCHES BELOW THE CROSSOVER PIPE.
 7. REMOVE A 1-FOOT X 1-FOOT SQUARE HOLE AT THE BOTTOM OF THE 3-FOOT HIGH PERFORATED PRECAST CONCRETE MANHOLE AND SET THE HOLE DIRECTLY OVER THE INLET PIPE AND ON TOP OF THE 4-FOOT HIGH BASE.
 8. REMOVE 1-FOOT X 1-FOOT SQUARE HOLE WHERE THE CROSSOVER AND OUTLET PIPES WILL BE INSTALLED.
 9. INSTALL ELECTRIC CONDUIT AND AIR LINES.
 10. INSTALL INLET, OUTLET AND CROSSOVER PIPES. BACKFILL WITH NATIVE FILL IN 8" MAXIMUM LIFTS TO TOP OF THE PRETREATMENT / TREATMENT TANKS AND HAND TAMP FILL. CAUTION SHALL BE TAKEN TO MINIMIZE TAMPING OVER SEWER LINES AS TO NOT DAMAGE THE BURETTED SEAL INTO AND OUT OF THE TANKS.
 11. INSTALL AND ROTATE TOPPING SLABS SO ACCESS HOLES ARE ALIGNED WITH THE ACCESS COVERS IN THE PRETREATMENT AND TREATMENT TANKS.
 12. INSTALL PRECAST CONCRETE COVERS ON TOPPING SLABS WITH HEAVY DUTY CAST IRON FRAME AND COVERS TO GRADE.
 13. BACKFILL AND COMPACT THE OUTSIDE OF THE PERFORATED PRECAST CONCRETE MANHOLES TO PROPOSED GRADE WITH NATIVE BACKFILL. BACKFILL SHALL BE PLACED IN 8-INCH MAXIMUM LIFTS AND MECHANICALLY COMPACTED.
 14. CONTRACTOR SHALL CONTACT WASTEWATER WORKS, INC. AT (830) 991-0818 TO ADDRESS QUESTIONS OR PROVIDE ADDITIONAL INSTALLATION INSTRUCTIONS.



ELECTRICAL DIAGRAM

SETBACK STANDARDS

	SANITARY LEACHING POOL	OWTS	PRIVATE WELL
SWIMMING POOL	20'	20'	-
SLAB FOUNDATION	10'	5'	10'
SANI LEACHING POOL	-	8'	150'
PRIVATE WELL	150'	75'	-
WELL LATERAL	10'	10'	-
DRAINAGE DRY WELL	10'	10'	50'
U/G UTILITIES	5'	5'	-
NON-PRECAST DB	2'	5'	75'

SUFFOLK COUNTY DEPARTMENT OF HEALTH SERVICES
APPROVED
REFERENCE NO. C-24-0074
SEE SHEET 1 OF 3 FOR SPECIAL CONDITIONS
REVIEWER'S INITIALS BE



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SYLVESTER MANOR
EDUCATIONAL FARM
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SHELTER ISLAND, NY 11964
SCTM# 7008-4-5.5.5.8.5.9. & 5.10

DRAWING
DETAILS
Manor House Change In Use & Restoration

ISSUE
DATE
REV. 0
REV. 1
REV. 2
REV. 3

SCALE
1" = 40'

SHEET
C3

COUNTY OF SUFFOLK



EDWARD P. ROMAINE
SUFFOLK COUNTY EXECUTIVE

DEPARTMENT OF HEALTH SERVICES

GREGSON H. PIGOTT, MD, MPH
Commissioner

PERMIT CONDITIONS

Project Name: Manor House - Sylvester Manor
Health Services Reference #: C-24-0074
SCTM #: 0700008000100005010
Revision #: 0

The attached plan, when duly signed by a representative of the department, in conjunction with these conditions, constitutes a permit to construct a water supply, sewage disposal, and/or collection system for the property as depicted. The applicant should take note of any conditions of approval, which may be indicated on the plan or enclosed herein. Construction must conform with approved plans as well as all applicable standards including **Standards for Approval of Plans and Construction for Sewage Disposal Systems for Other than Single Family Residences**. Omissions, inconsistencies or lack of detail on the plan do not release the applicant from the responsibility of having the construction done in conformance with applicable standards. Issuance of this permit shall in no way relieve the design professional of responsibility for the adequacy of the complete design.

The permit (plan) expires three (3) years after the approval date. Any modification to the approved design requires the submission of a revised plan and additional fees (if applicable) for approval prior to construction. **No inspections will be performed by the department if a copy of the approved site plan/survey is not on site during construction or if the permit has expired.**

Permits may be renewed, transferred, or revised in accordance with the procedures described in **Instructions to Renew, Extend, or Transfer an Existing Permit for Other than Single Family Residences (Form WWM-081)**.

It is the applicant's responsibility to schedule an inspection of the sewage disposal and/or water supply facilities prior to backfilling. This includes inspections of the sewage collection and disposal systems, water supply system components and piping, and final grading as shown on the approved plans. This can be done by calling the department at (631) 852-5754, or through the ACA Portal at <https://aca-prod.accela.com/SUFFOLKCO>. In certain cases, inspections of the soil excavation may be required to determine the acceptability of the soils for sewage disposal systems. **Excavation inspections must be confirmed by calling (631) 852-5700 between 8:30a.m. and 9:30 a.m., the morning of the inspection.** *Article VII of the Code, "Septic Industry Businesses," requires that all installers of septic systems within shall possess a valid license from the Office of Consumer Affairs. This office will not perform inspections for or grant final approval for construction of projects that are installed by an unlicensed individual. It is, therefore, in your best interest to utilize a cesspool contractor with a valid license to avoid substantial delays in your project.*

Final approval issued by the Department is necessary prior to the occupancy of new buildings, additions to existing buildings, or for the use of sewage disposal or water supply systems.

Project Name: Manor House - Sylvester Manor
Health Services Reference #: C-24-0074
SCTM #: 0700008000100005010
Revision #: 0

CONDITIONS FOR OBTAINING FINAL APPROVAL OF CONSTRUCTED PROJECT

As a condition of this permit to construct, the following items must be completed as a minimum, prior to building occupancy and use of the sewage disposal system or water supply facilities. For further information concerning this, refer to **Instructions For Obtaining Final Health Department Approval Of Constructed Projects For Other Than Single Family Residences (Form WWM-019)**.

[1] Satisfactory inspection of the sewage disposal system by the Office of Wastewater Management.

[2] Design professional certification (WWM-073) for sewage disposal system.

[3] Installer certification (WWM-078).

[4] Abandonment certification (WWM-080).

[5] As-built plan.