

Town Clerk Amber Wilson
Town of Shelter Island
PO Box 1549
Shelter Island, NY 11964

By Hand

December 9, 2025

Dear Ms. Wilson,

Please find enclosed an additional submission for our August 8, 2025, Site Plan Review (SPR) application, regarding additional parking information requested by Planning Board Chair Julia Weisenberg and member Sean Davy. We've included 11 copies for your distribution purposes. Further, we delivered seven copies to the Planning Board clerk.

As you know, when we initially applied for SPR, we understood the scope was limited to the Manor House Rehabilitation project. Since we applied, the Building Inspector has informed us that the review will cover the property's recently approved change of use from private residential to educational. Discussions about site parking at the Planning Board's November meeting and during separate site visits by Weisenberg and Davy prompted this response.

The document titled "Sylvester Manor Site Plan Review Parking Layouts - 12/9/2025" depicts in basic schematic form current and proposed parking areas. We used screenshots from the Suffolk County GIS, using the system's measuring tools to show linear feet for parking perpendicular to existing roads and square feet for grassy overflow parking areas. The calculations are based on an allowance of 350 square feet per vehicle for parking areas and the Town Code's description of 10' by 20' for off-road parking spaces.

We look forward to providing additional information as requested. Please contact me if you have any questions.

Thank you,



Julia Brennan
Capital Projects Manager
Sylvester Manor
PO Box 2029
Shelter Island, NY 11964
Cc Stephen Searl, Marc Robert, Karen Hoeg

Sylvester Manor Site Plan Review

Parking Layouts - 12/09/2025

Response for Requested Information about Parking

Sylvester Manor has three types of existing/proposed parking:

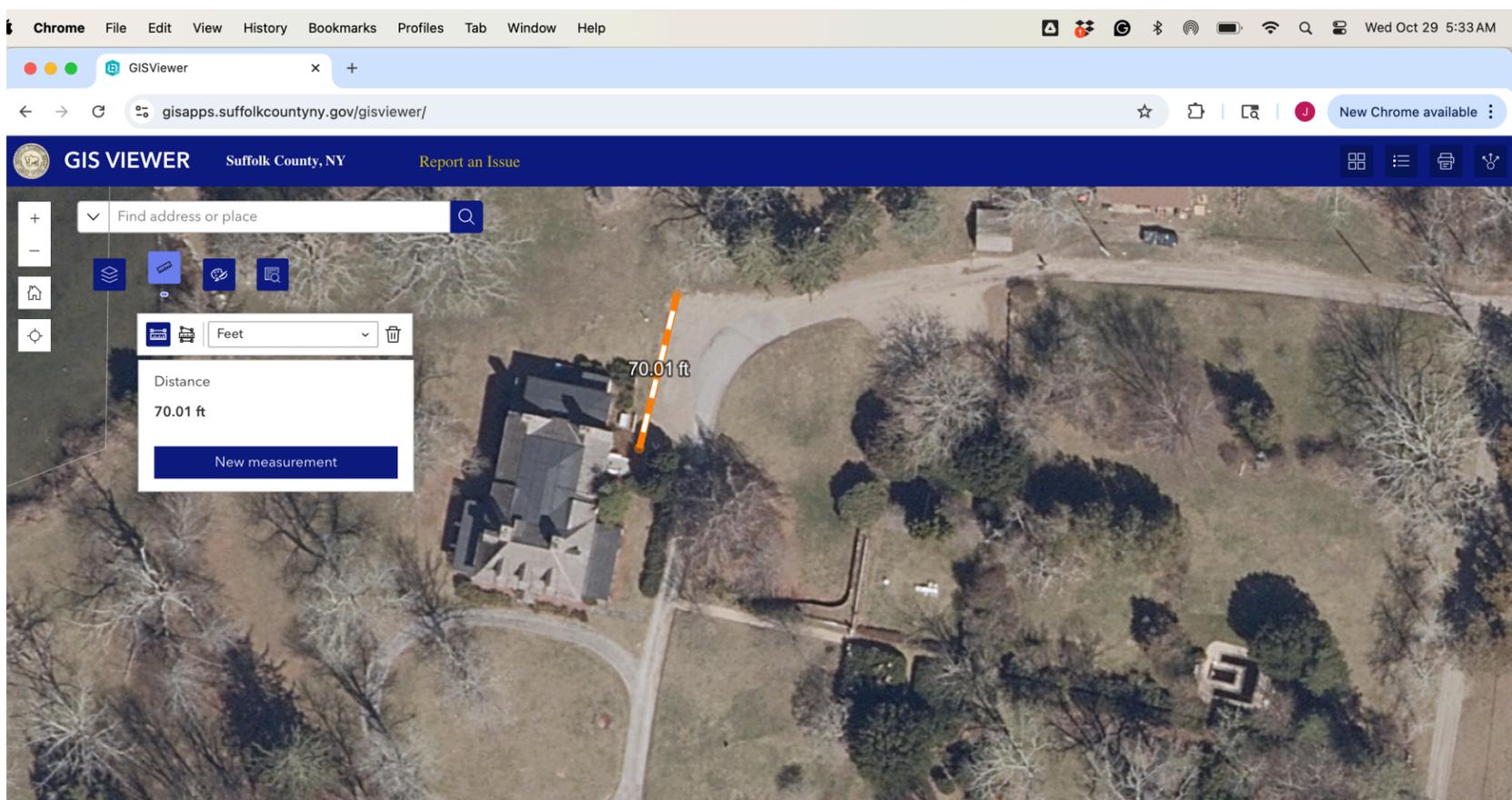
- Dirt/Gravel perpendicular (along driveway edges)
- Dirt/Gravel areas (connected to driveways)
- Grassy overflow (perpendicular or areas)

Measurements: Perpendicular parking allowance is 10' by 20' per vehicle; area parking allowance is 350 s/f per vehicle. (Note: Suffolk County GIS screenshots include the system's linear and area measurements.)

Safety and mobility: Sylvester Manor programs typically take place outdoors in the Historic Core surrounding the Manor House and Barn Complex during daylight hours and are weather dependent. For large events, we hire a parking service to direct operations. Staff use golf carts to transport guests with mobility issues. Event areas are within easy walking distance from parking areas across relatively level ground accessed by established pathways or dirt/gravel driveways. For our annual Farm to Table Celebration, which ends at 10 PM, we hire a professional lighting firm to illuminate routes between the event and parking areas. The following information is in addition to our initial Site Plan Review application packet and is offered in response to requests for more details from the Town's Site Plan Review advisors. These details build on our November 18, 2025 submission relating to interior circulation.

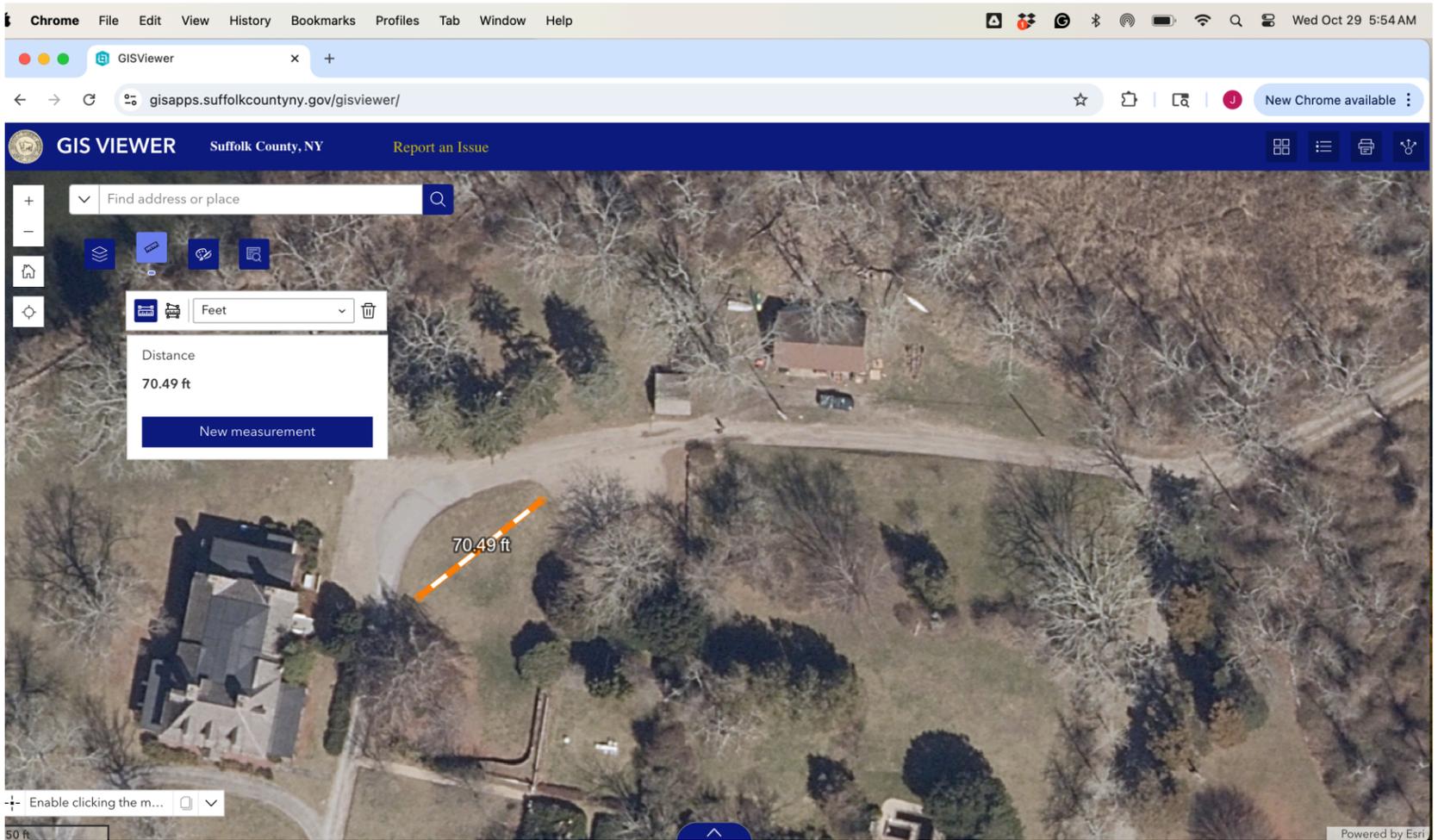
1) Manor House Existing Parking Layouts

Currently, Manor House staff primarily use the Dirt/Gravel perpendicular parking along the main driveway, where there is space for 7 vehicles.

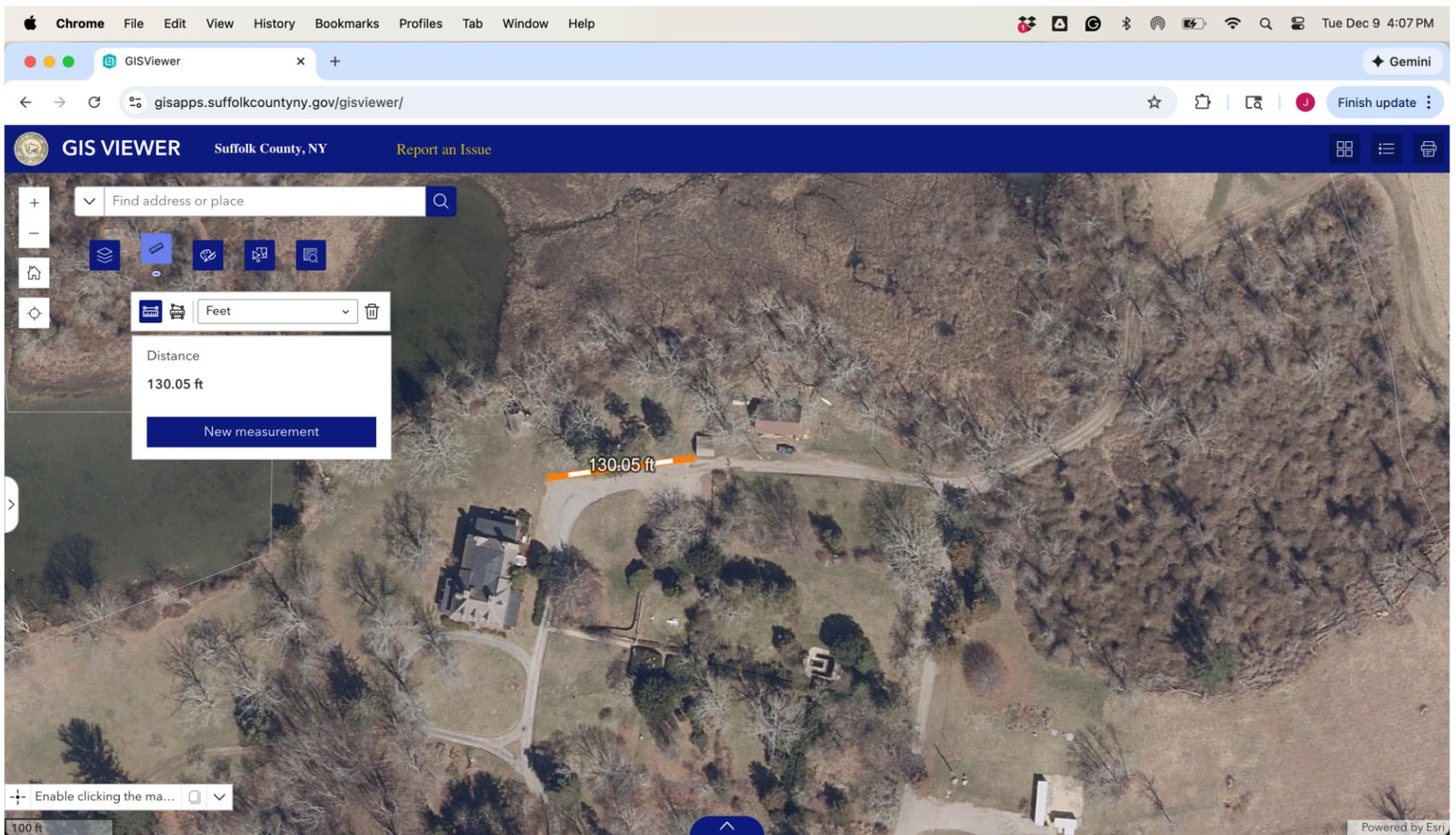


Existing Manor House perpendicular dirt/gravel parking for 7 vehicles

In addition to the 7 spaces perpendicular to the main driveway, Manor House staff, visitors and vendors can use grassy overflow areas perpendicular to the main driveway, with an additional 7 spaces and 13 spaces as shown on the following page.



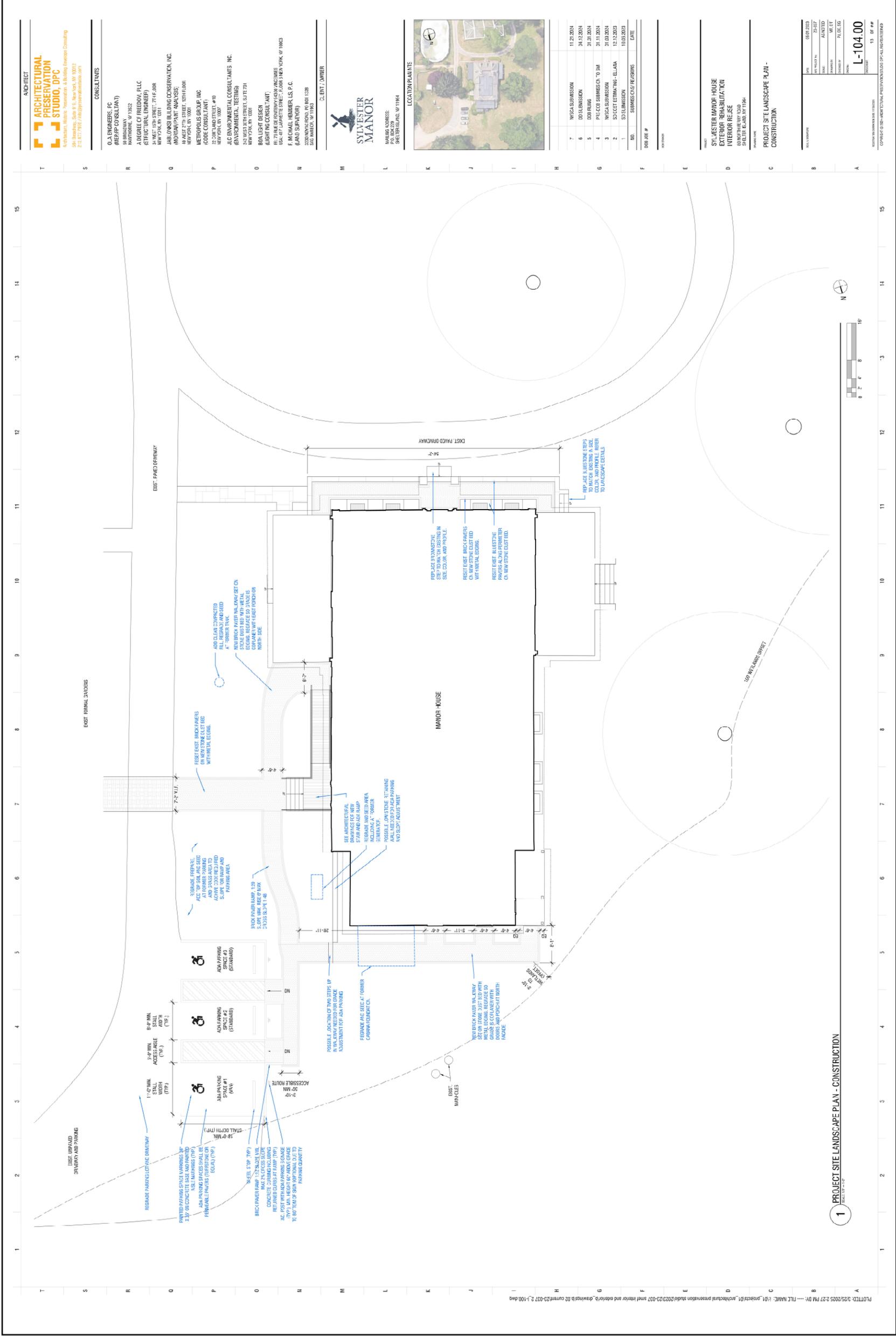
Existing Manor House grassy overflow parking for 7 vehicles



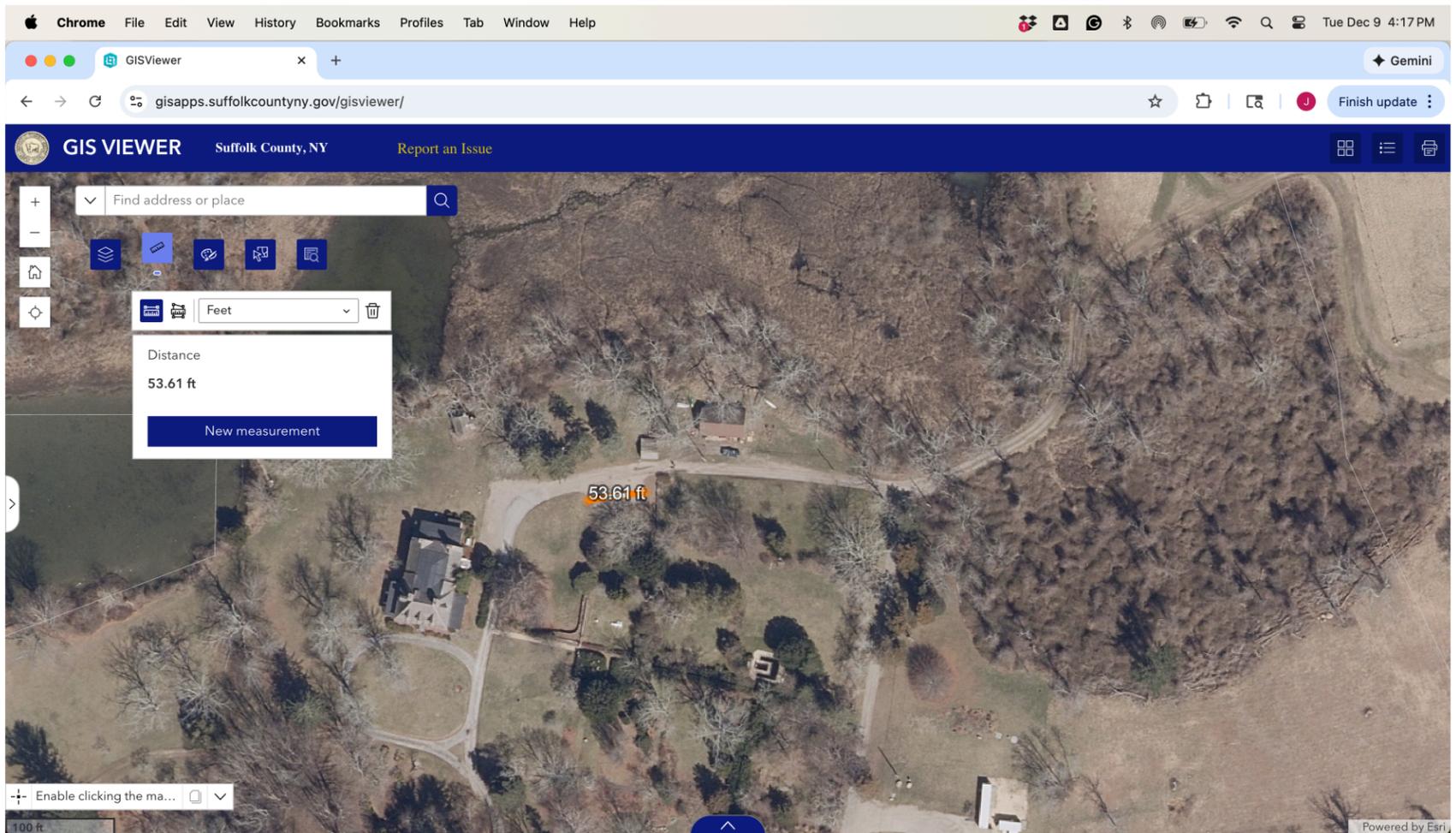
Existing Manor House grassy overflow parking for 13 vehicles

2) Manor House Proposed Future Parking Layouts

As part of the Manor House Rehabilitation, we propose placing the required 3 spaces of ADA parking just north of the Manor House along the driveway as shown in this previously submitted plan page; signage will indicate their ADA use and pervious surfacing will be provided that meets ADA requirements and Town code:



In addition to the 3 ADA spaces perpendicular to the main driveway, Manor House staff, visitors and vendors will have the use of spaces now used by our Buildings & Grounds department in a dirt/gravel area opposite the Mower Barn, which is being de-electrified as part of the Manor House Rehab project and its uses being moved to other structures. This gravel parking area has space for 5 vehicles.

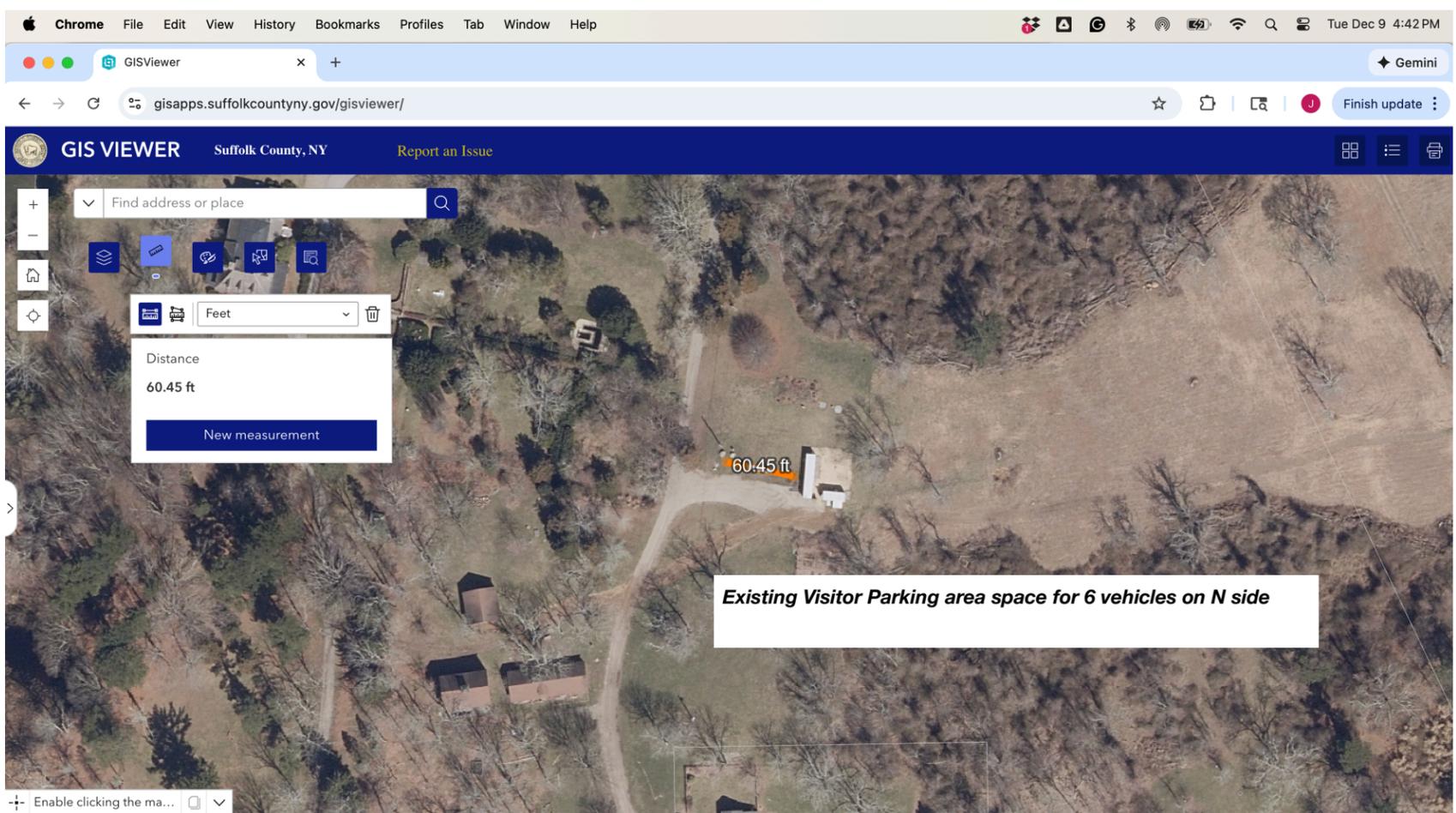


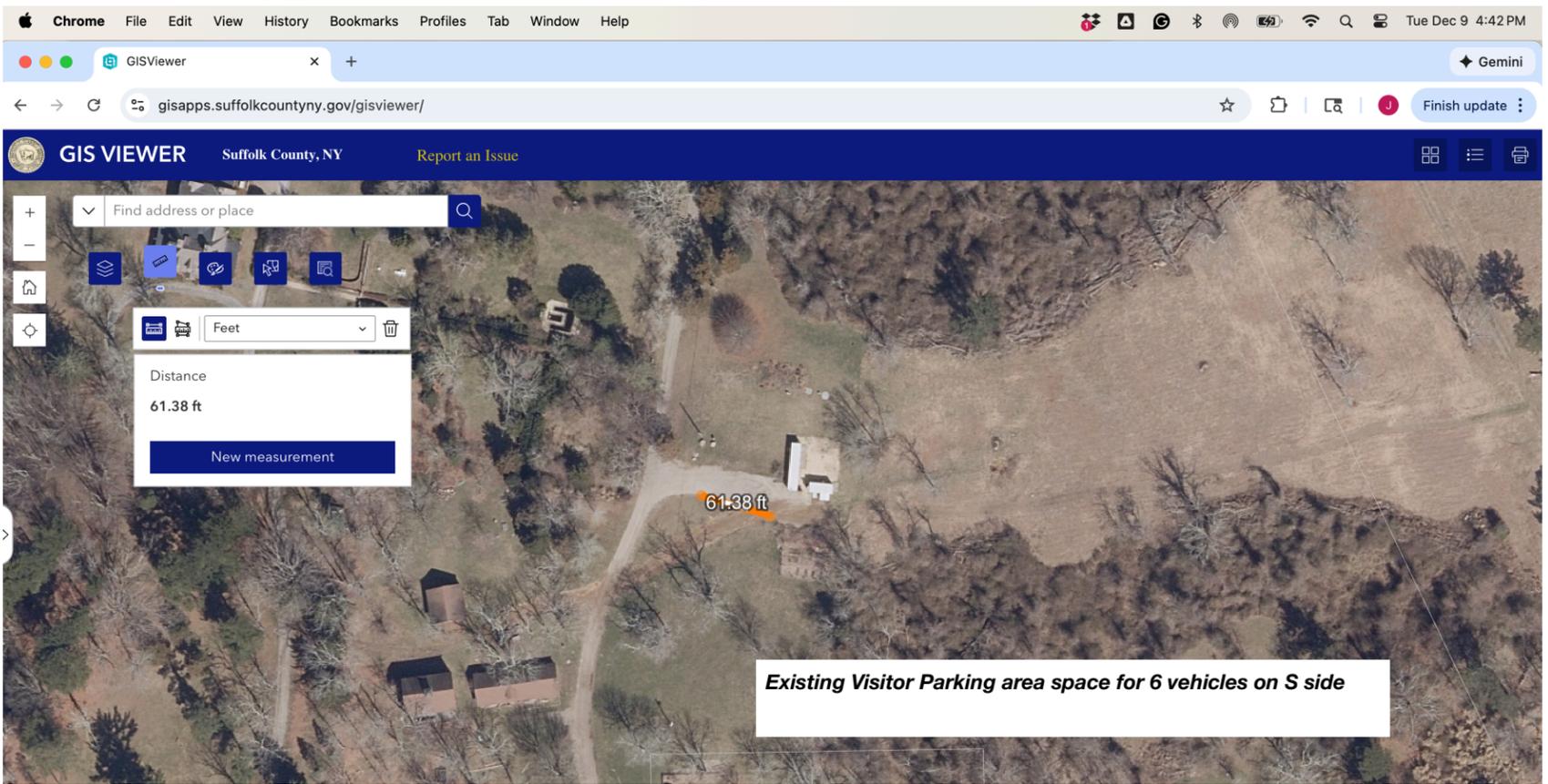
Mower Barn gravel parking area with 5 spaces repurposed for Manor House staff

Other visitors will be required to park in the main visitor parking lot or overflow areas indicated on the following pages. Signage will indicate that no parking is permitted along the driveways in the immediate vicinity of the Manor House to keep the areas clear for emergency vehicles. Drop-off will be permitted for visitors with mobility issues and staff can transport guests by golf cart, upon request.

3) Visitors Existing/Proposed Parking Layouts

Currently, most visitors to Sylvester Manor’s historic core make use of a centrally located parking area adjoining our public restrooms. This area has a dirt/gravel driveway with perpendicular parking for 6 vehicles each on the N and S sides.

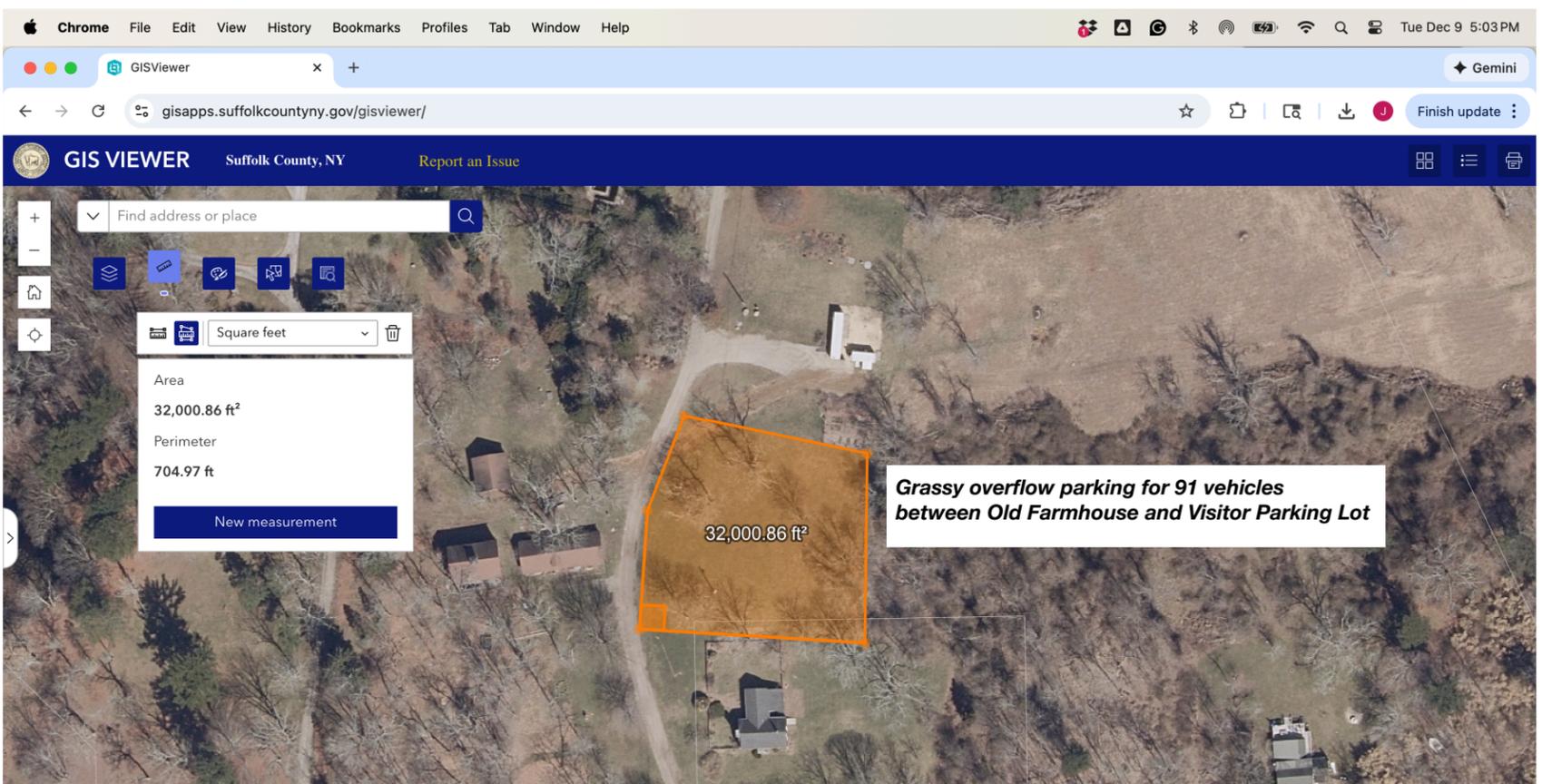


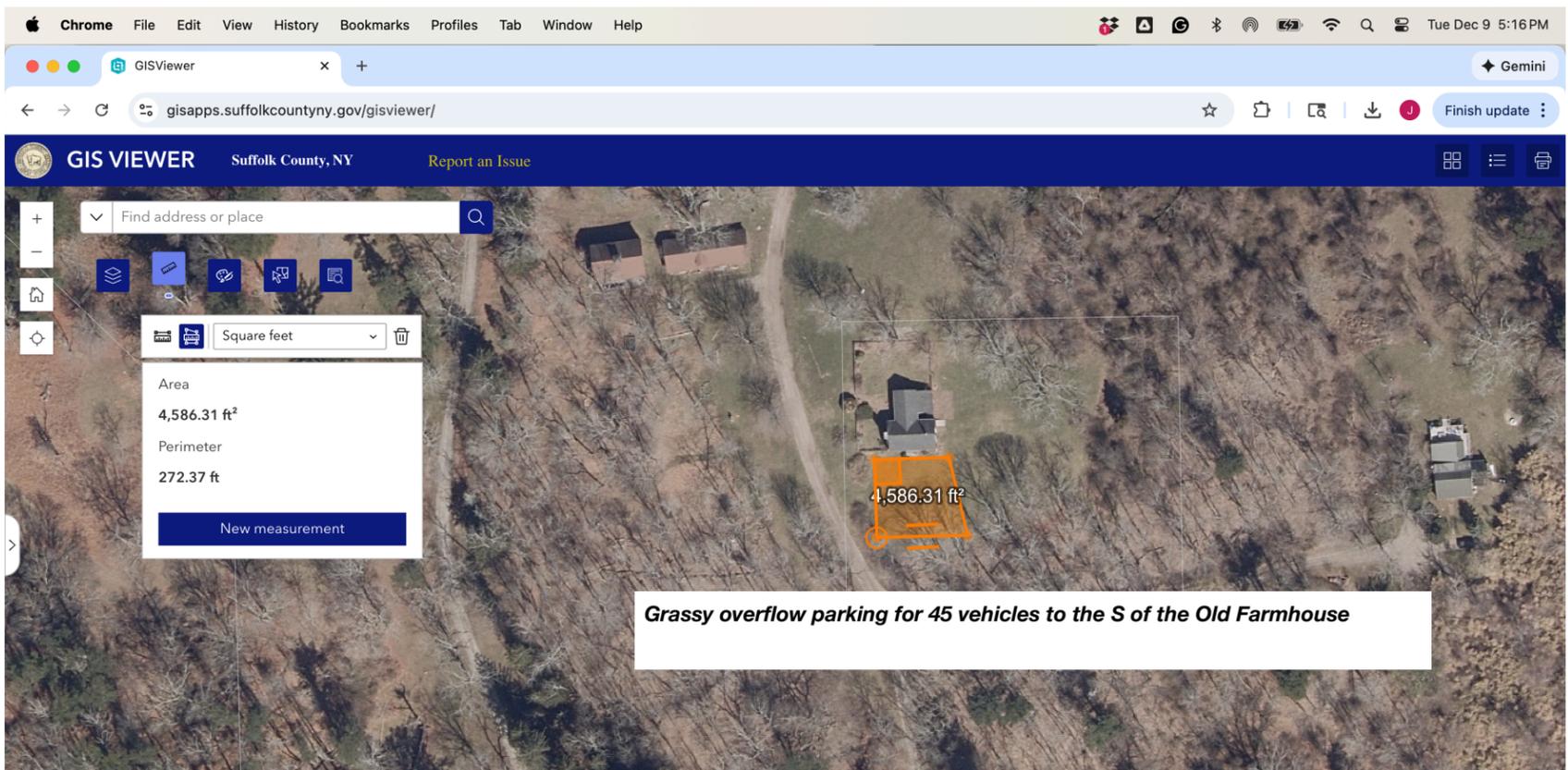
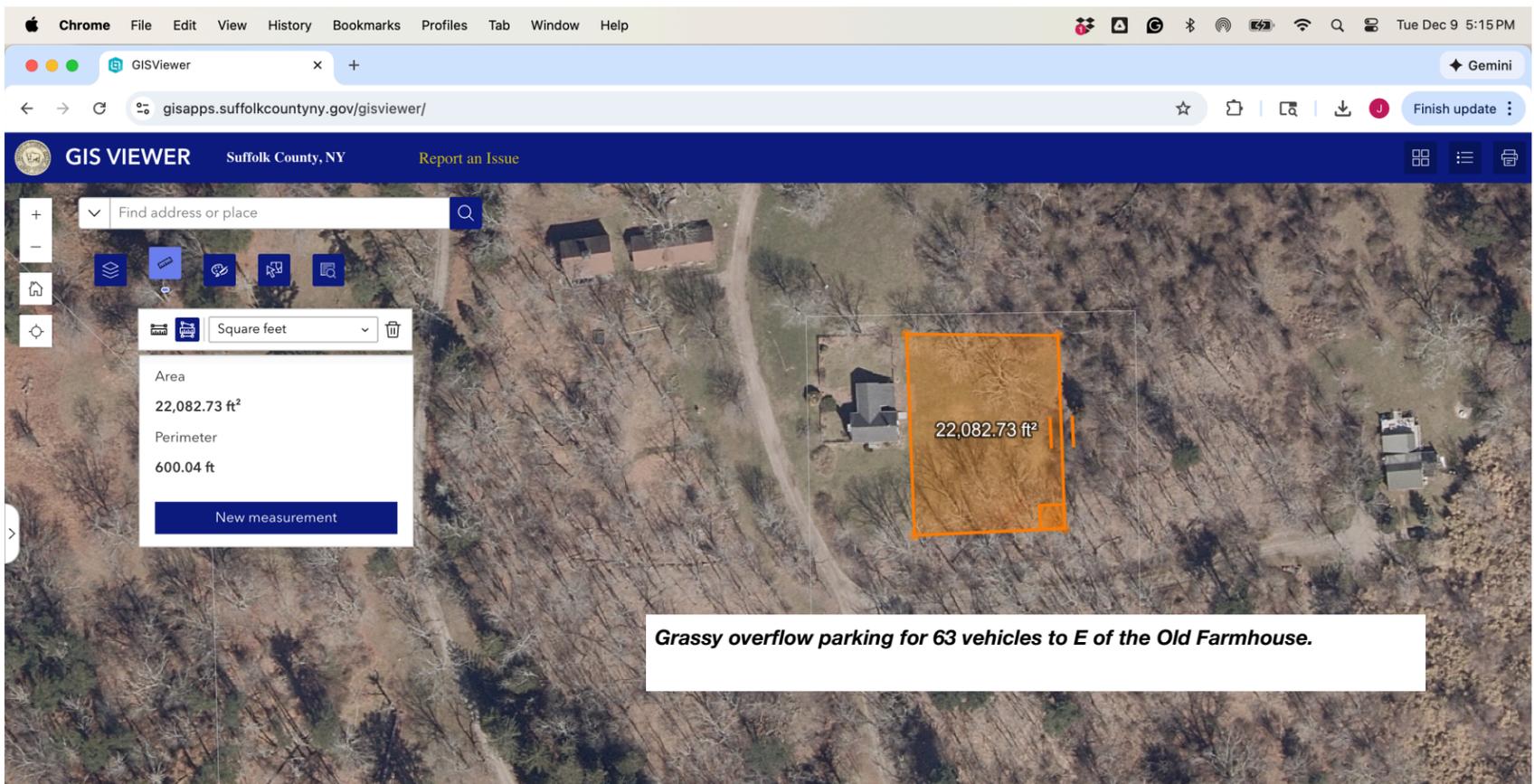


These designated visitor parking spaces have proved sufficient for Sylvester Manor's day-to-day operations and no expansion is proposed at this time. Signage will reserve parking closest to the wheelchair ramp at the container restrooms for ADA-compliance. A kiosk at the Visitor Parking area provides information about Sylvester Manor.

4) Existing and proposed overflow parking areas for large events

Sylvester Manor schedules an annual fundraising dinner with about 500 guests, an outdoor concert with about 300 guests and an outdoor Shakespeare production with about 250 guests. All take place on lawns in the immediate vicinity of the Manor House. Sylvester Manor maintains several large grassy areas suitable for overflow parking and typically hires attendants to ensure safety and security, and provides golf carts to shuttle guests with mobility concerns. Event parking is one space for every 2 to 4 attendees. Ample space exists in the following areas:





In addition to these 200 spaces, the Manor also has ample space for perpendicular overflow parking for an additional 132 vehicles along its main driveway and nearby farm road (see page 7).

These overflow parking areas, used in different combinations, offer plentiful spaces for guests at medium and large events. The largest events are typically of short duration, happen infrequently and Sylvester Manor provides parking management and shuttle services for guests with mobility issues. Nearly all programs and events take place during daylight hours, so attendees and event staff have natural light to guide them as they depart.

For additional details relating to interior circulation, including contractor parking and new staff parking at the Old Farmhouse, please see our previous submission dated November 18, 2025 "Proposed Interior Circulation Conceptual Design."

